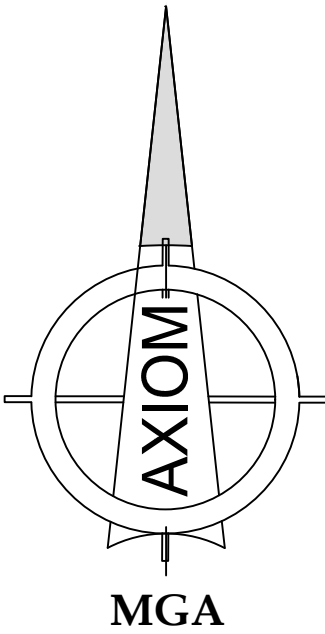


L.G.A. : RANDWICK
PARISH : BOTANY
COUNTY : CUMBERLAND



LEGEND

CONTOUR MAJOR

CONTOUR MINOR

BOUNDARY SUBJECT

BOUNDARY ADJOINING

EASEMENT

BUILDING EDGE

RETAINING WALL BOTTOM

RETAINING WALL TOP

FENCE

TOE OF BANK

TOP OF BANK

ELECTRICITY LINE UNDERGROUND

UNCLASSIFIED SERVICE LINE

WATER LINE

BOLLARD

COMMUNICATIONS PIT SINGLE

COMMUNICATIONS PIT TWIN

ELECTRICITY BOX

LIGHT POLE

POWER POLE

ELEC DISTRIBUTION PILLAR

ELECTRICITY PIT

DRAINAGE MAN HOLE

GAS VALVE BOX

GATE

SIGN

SIGN CORNER

SEWER MAN HOLE

SEWER PIT

WATER HYDRANT

WATER METER

WATER TAP

WATER STOP VALVE

UNCLASSIFIED POLE

DENOTES LEVEL AT SERVICE WITH DEPTH FROM SURFACE AND CLASSIFICATION

WARNING:
1. THIS DRAWING REMAINS THE PROPERTY OF AXIOM SPATIAL Pty Ltd AND SHOULD NOT BE REPRODUCED IN PART OR IN WHOLE WITHOUT WRITTEN CONSENT FROM AXIOM SPATIAL Pty Ltd
2. THE BEARINGS AND DISTANCES OF THE BOUNDARIES SHOWN HAVE BEEN COMPILED FROM THE INFORMATION SUPPLIED BY THE DEPARTMENT OF LANDS AND THEREFORE THE DIMENSIONS, AREA AND LOCATION OF EASEMENTS ARE SUBJECT TO A FINAL SURVEY.
3. VISIBLE SERVICES ONLY HAVE BEEN SHOWN WHICH WERE VISIBLE AT THE TIME OF SURVEY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION, THE RELEVANT AUTHORITIES SHOULD BE CONTACTED TO LOCATE ANY POTENTIAL UNDERGROUND SERVICES WHICH MAY BE PRESENT.
4. THE POSITION OF ALL FEATURES ON THE PLAN HAVE NOT BEEN ACCURATELY LOCATED IN RELATION TO THE BOUNDARIES. NO BOUNDARY SURVEY HAS BEEN MADE. DO NOT SCALE OFF THIS PLAN WHERE OFFSETS ARE CRITICAL. COPYING THIS PLAN MAY DISTORT THE SCALE
5. PRIOR TO ANY CONSTRUCTION WORK AN ACCURATE BOUNDARY SURVEY SHOULD BE CONDUCTED AND MARKS PLACED TO DEFINE THE POSITION OF ANY NEW CONSTRUCTION
6. BACKGROUND MODEL AS SHOWN IN GRAYSCALE WAS OBTAIN FROM A PREVIOUS SURVEY BY OTHER. AXIOM SPATIAL TAKE NO RESPONSIBILITY IN THE ACCURACY AND COMPLETENESS OF THE SURVEY
7. THESE NOTES ARE AN INTEGRAL PART OF THIS PLAN WHICH ARE NOT TO BE REMOVED

WARNING REGARDING SERVICES

THE LOCATION OF ALL UNDERGROUND SERVICE LINES SHOWN HERON ARE APPROXIMATE AND INDICATIVE ONLY.

- ONLY THOSE LINES WHICH HAVE BEEN IDENTIFIED ON THE SURFACE BY SERVICE LOCATION CONTRACTORS ARE SHOWN HERON. THE SERVICES WERE IDENTIFIED BY MARKS SHOWN ON THE GROUND AND BY SURFACE EVIDENCE. THESE LINES ARE SAID TO BE INDICATIVE OF THE POSITION OF THE UNDERGROUND SERVICE BELOW.
- VISUAL CONFIRMATION OF THESE LINES BY POTHOLING TO ASCERTAIN ACCURATE POSITION AND DEPTH IS NECESSARY BEFORE ANY EXCAVATION OR DRILLING IS CARRIED OUT.
- THIS SERVICES INVESTIGATION WAS CARRIED OUT USING, AS A BASIS, INFORMATION SUPPLIED BY 'DIAL BEFORE YOU DIG' (DBYD) OBTAINED AT TIME SURVEY AND SERVICE SURFACE EVIDENCE (EG SERVICE LIDS ETC)
- A CURRENT SERVICES SEARCH, INCLUDING ALL 'DIAL BEFORE YOU DIG' SERVICES PLANS, AND SITE CHECKING OF ALL EXISTING SERVICES WILL BE NECESSARY PRIOR TO COMMENCING ANY DESIGN OF CONSTRUCTION WORKS.
- THE INFORMATION SHOWN HEREON MAY VARY DUE TO SITE CONDITIONS ENCOUNTERED DURING THE COURSE OF THE SERVICE LOCATION.
- SOME COMPANIES WITH UNDERGROUND ASSETS DO NOT PARTICIPATE IN THE DBYD SERVICE. THESE SERVICES HAVE NOT BEEN LOCATED BY THIS SURVEY.
- OTHER UNDERGROUND SERVICES (IF ANY) MAY EXIST WITHIN THIS AREA. THESE SERVICES ARE SAID TO BE EITHER NOT LOCATABLE AT THIS TIME BY ELECTRONIC (UNOBTRUSIVE) METHODS (I.E. NO POTHOLING/EXCAVATION) NOR VISIBLE ON SITE NOR REVEALED BY THE DBYD SEARCH. THESE SERVICES HAVE NOT BEEN LOCATED BY THIS SURVEY.
- SERVICES WERE INVESTIGATED WITHIN THE PERIMETER OF THE SITES FENCING ONLY. NO INVESTIGATION HAS BEEN UNDERTAKEN TO IDENTIFY SERVICES WITHIN THE ADJACENT ROAD CORRIDOR OR NEIGHBOURING LOTS.
- SERVICE DETAILS AND LOCATIONS MUST BE CONFIRMED WITH ALL SERVICE AUTHORITIES, 'DIAL BEFORE YOU DIG'. THIS PLAN AND LOCATIONS MUST BE VALIDATED PRIOR TO CONSTRUCTION BY THE EXCAVATION/BUILDING CONTRACTOR.
- MAIN LINE SERVICE PIPE DETAILS DERIVED FROM DBYD PLANS. PLEASE REFER TO EACH PROVIDER FOR ACCURATE SERVICES INFORMATION. FOR ALL LOCAL CONNECTION PLEASE REFER TO DBYD PLANS FROM EACH SERVICE PROVIDER
- THE ABOVE NOTES ARE AN INTEGRAL PART OF THE PLAN.

ORIGIN OF LEVELS :
PM 56809 RL 2.873 (AHD)
FOUND AT THE CNR FRIENDSHIP RD
AND BUMBORAH POINT ROAD

AREA
LOT: 21
VIDE: DP1068292 3.149 ha
BY CALC : -

CO-ORDINATES ARE
MGA2020 GROUND BASED ON
SSM 56809
E 335 933.414
N 6 239 509.611

CLASSIFICATION OF SUBSURFACE UTILITY INFOMRATION (SUI) AS PER AS5488

A	VALIDATED	POTHOLED & SIGHTED IS 'ABSOLUTE SPATIAL POSITION IN 3D (+/-50mm)
B	TRACED	ELECTRONICALLY TRACED WITH GOOD SIGNAL WITH DEPTH 'GIVEN HORIZONTAL TOLERANCE (+/- 300mm AND VERTICAL TOLERANCE OF +/-500mm)
C	ALIGNED	ALIGNED USING SURFACE FEATURES AND HISTORICAL RECORD ELECTRONICALLY TRACED WITH DEPTH AND/OR POOL SCRATCHY SIGNAL
D	INDICATIVE	INDICATIVELY LOCATION ONLY" USING DBYD/HISTORICAL RECORDS

CLIENT:
STATEWIDE CIVIL

SURVEYED LH
DATUM AHD
GRID MGA 2020
DRAWN CM
CHECKED ME
DATE 17/11/2022
SCALE: 1:200

PROJECT:
9 BUMBORAH POINT ROAD, PORT BOTANY
TITLE:
**PLAN SHOWING
LEVEL AND DETAIL
OVER LOT 21 IN DP 1068292**

SHEET 1 OF 6
DRAWING No. 22616001
REV 00

00	17/11/2022	ORIGINAL ISSUE	2021-11-14 LH		
REVISION	DATE	DESCRIPTION	DATA REF		

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Engadine NSW 2233

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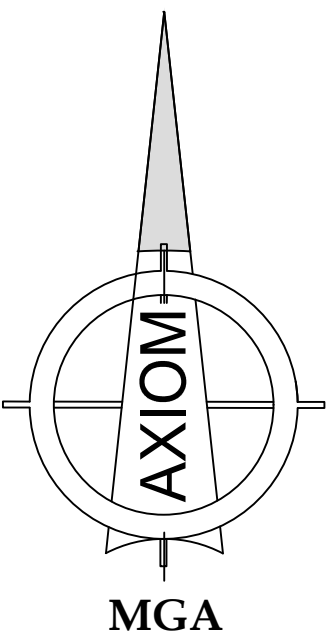
SHEET 6

SHEET 5

SHEET 4

SHEET 2

SHEET 3



BUMBORAH POINT ROAD

LOT 1
DP 631617

LOT 21
DP 1068292

LOT 20
DP 1068292

CONCRETE DRIVEWAY

CONCRETE DRIVEWAY

VAUGHAN ADAM WADY
REGISTERED SURVEYOR #8684
REF: 22-616
DATE: 30/06/2023

- [A] EASEMENT FOR RAILWAY PURPOSES VAR WIDTH (DP805244)]
[B] EASEMENT TO DRAIN WATER 5 WIDE, 7.5 WIDE & VARIABLE (DP805244)]
[D] EASEMENT FOR ELECTRICITY PURPOSES VAR WIDTH (DP805244)]
[E] EASEMENT TO DRAIN WATER VAR WIDTH (DP805244)]
[G] EASEMENT FOR ACCESS VAR WIDTH (DP805244)]
[J] RESERVATION FOR DRAINAGE VAR WIDTH (DP1050505)
[K] RESERVATION FOR DRAINAGE 2.5 WIDE (DP1068292)



CONSULTING SURVEYORS NATIONAL
**PROFESSIONAL
STANDARDS SCHEME**

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DATUM AHD	GRID MGA 2020	CHECKED ME	DATE 17/11/2022	SCALE: 1:200	
SHEET 2 OF 6			DRAWING No. 22616001	REV 00	

L.G.A. : RANDWICK
PARISH : BOTANY
COUNTY : CUMBERLAND



LOT 1
DP 631617

LOT 22
DP 1068292

LOT 101
DP 805244

BITUMEN
DRIVEWAY

SHIPPING CONTAINERS

+ BITUMEN
& GRAVEL

LOT 21
DP 1068292

CONC
DRIVEWAY

METAL
SHED

ETA
HED

ETA
HED

LIGHT
POLE

RESERVATION FOR DRAINAGE 2.5 WIDE

SHEET 6

SHEET 5

SHEET 4

SHEET 2

SHEET 3

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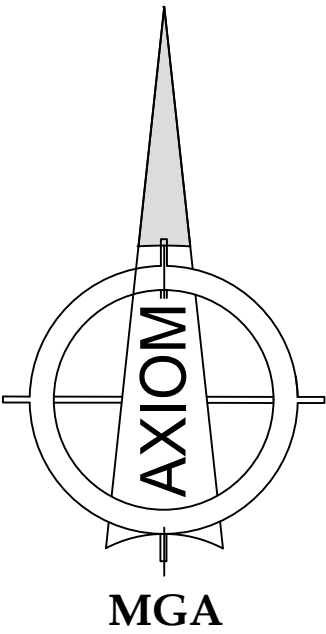
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LEVEL AND DETAIL
OVER LOT 21 IN DP 1068292

SHEET 3 OF 6	A1	DRAWING No. 22616001	REV 00
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PARISH : BOTANY
COUNTY : CUMBERLAND



LOT 22
DP 1068292

LOT 21
DP 1068292

22
D P 1 0 6 8 2 9 2

SHEET 6

SHEET 5

SHEET 4

SHEET 2

SHEET 3

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SHEET 5 OF 6

A1

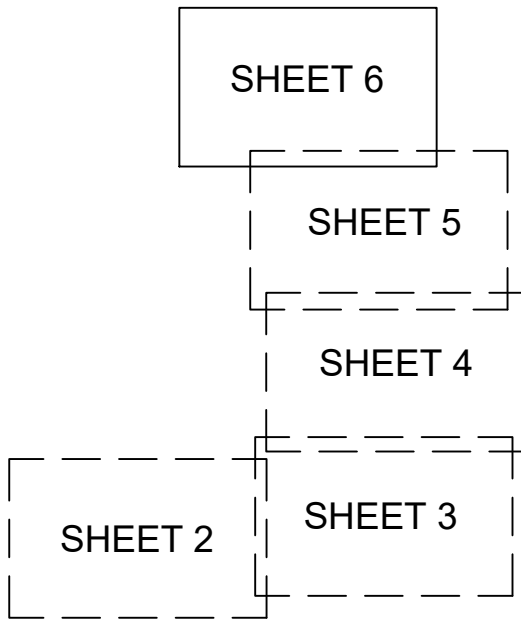
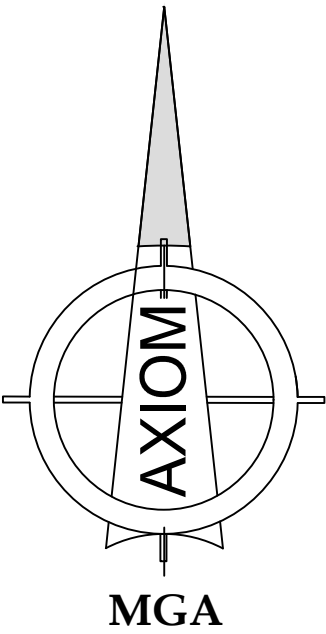
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